

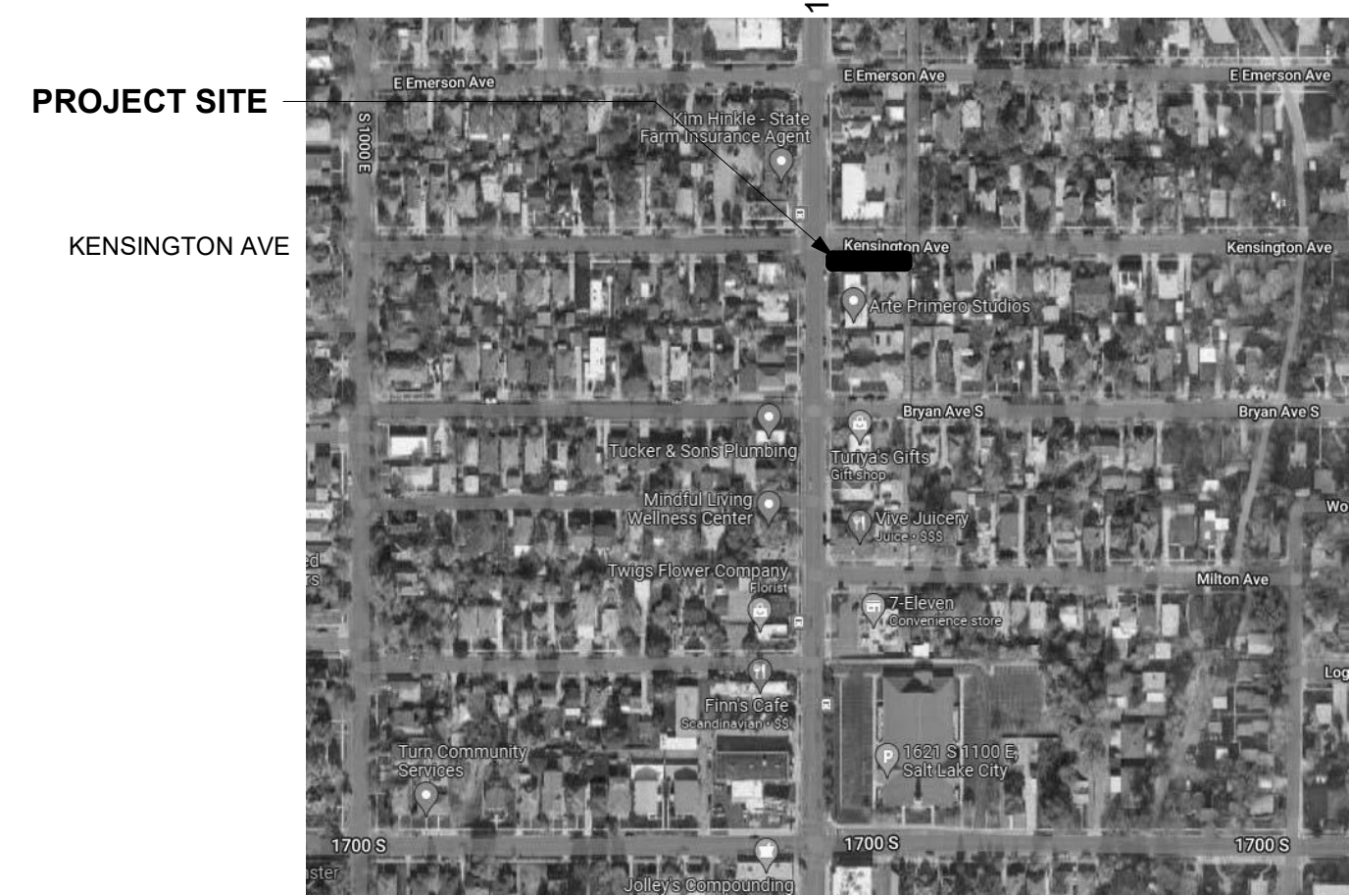
BLOQ 11 TAP BAR

1533 S 1100 E, SALT LAKE CITY, UT 84105

PROJECT TEAM

PROJECT OWNER	PROJECT DESIGNER	STRUCTURAL ENGINEER	MEP ENGINEERS
-	ADDvirtue	MJ Structural Engineers	DESIGN/BUILD BY OTHERS
Cody Chamberlain	Ian Kaplan	Matt Jackson	
Cody@D3CADEHOMES.com	Ian@addvirtue.com	mjackson@mjstructuralengineers.com	
-	-	-	
-	-	-	
Ph. 801.230.5218	Ph. 585.261.1856	Ph. 801.905.1097	

VICINITY MAP



PROJECT INFORMATION

ADDRESS:	1533 S 1100 E SALT LAKE CITY, UTAH 84105
APN:	16172560010000
DESCRIPTION:	ADAPTIVE RE-USE OF AN EXISTING COMMERCIAL SPACE INTO A INTO A BAR/TAVERN. NO ADDITIONAL SQUARE FOOTAGE TO BE ADDED TO PROJECT.
SITE AREA:	.06 ACRES (2,437.5 SF)
PRIMARY OCCUPANCIES:	(A-2) ASSEMBLY, ALCOHOL/BAR* *CONDITIONAL USE APPROVAL REQUIRED
EXISTING SITE USE:	(B) BUSINESS
CONSTRUCTION TYPE:	VB (WOOD FRAME)
PROJECT AREA:	GROSS MAIN LEVEL: 1,953 SF LOWER LEVEL: 390 SF TOTAL BUILDING GROSS SF: 2,343 SF NET MAIN LEVEL: 1,686 SF LOWER LEVEL: 303 SF TOTAL BUILDING NET SF: 1,989 SF

ZONING INFORMATION

ZONE:	RB - RESIDENTIAL BUSINESS
SETBACKS:	LOCATION FRONT: *EXISTING - NO CHANGES (SEE SITE PLAN) SIDE: *EXISTING - NO CHANGES (SEE SITE PLAN) REAR: *EXISTING - NO CHANGES (SEE SITE PLAN)
BUILDING COVERAGE:	*EXISTING - NO CHANGES (SEE SITE PLAN) NOT TO EXCEED 50% ACTUAL: 1,953 SF (80.1%)
BUILDING HEIGHT:	NOT TO EXCEED 30'. NO CHANGES PROPOSED.
PARKING REQ'S:	SEE SITE PLANS.

APPLICABLE CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:

- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC): WORK AREA METHOD
- 2021 INTERNATIONAL BUILDING CODE (IBC)
- TITLE 15A STATE CONSTRUCTION AND FIRE CODES ACT
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL PLUMBING CODE (IPC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2020 NATIONAL ELECTRIC CODE (NEC)

SHEET INDEX

General	
G001	COVER PAGE, SITE PLAN
G002	NOTES, ABBREV.'S, SYMBOLS
G003	SLCPUD GEN. NOTES
G004	ACCESSIBILITY DETAILS
G005	EGRESS & LIFE SAFETY PLANS
Architectural	
A200	FLOOR PLANS
A300	BUILDING ELEVATIONS
A500	ENL. PLANS & INTERIOR ELEVATIONS

NOTICE TO ALL:

IT IS THE RESPONSIBILITY OF EACH AND EVERY CONTRACTOR, SUB-CONTRACTOR, AND/OR TRADE TO VERIFY ALL ASPECTS OF THESE DRAWINGS AND TO MAKE ANY AND ALL CORRECTIONS, ALTERATIONS, AND/OR CHANGES NECESSARY TO COMPLY WITH ALL CODE REQUIREMENTS, LOCAL REGULATIONS, AND PROPER DESIGN CRITERIA, UPON NOTIFICATION OF THE GENERAL CONTRACTOR AND DESIGNER AND TO ASSURE THE FUNCTION AND/OR OPERATION OF THE SAME, TO A REASONABLE STANDARD, AS REQUIRED BY LAW.

DEFERRED SUBMITTALS:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO ADDVIRTUE DESIGN | DEVELOPMENT, WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATION THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE FOLLOWING ARE DEFERRED SUBMITTAL ITEMS:

- FIRE SPRINKLING (NFPA-13)

CONTRACTOR RESPONSIBILITIES:

THE PROVIDED SITE PLAN IS DRAWN SCHEMATICALLY. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR (GC) TO EXECUTE ANY/ALL REQUIRED SITE UTILITY & PREPARATION WORK IN ACCORDANCE WITH ALL APPLICABLE CODES & THE AUTHORITY HAVING JURISDICTION (AHJ). GENERALLY, THE GC SHALL BE RESPONSIBLE FOR THE COORDINATION, EXECUTION AND APPROVAL OF ALL WORK OUTSIDE OF THE MODULAR UNIT BUILDING ENVELOPE.

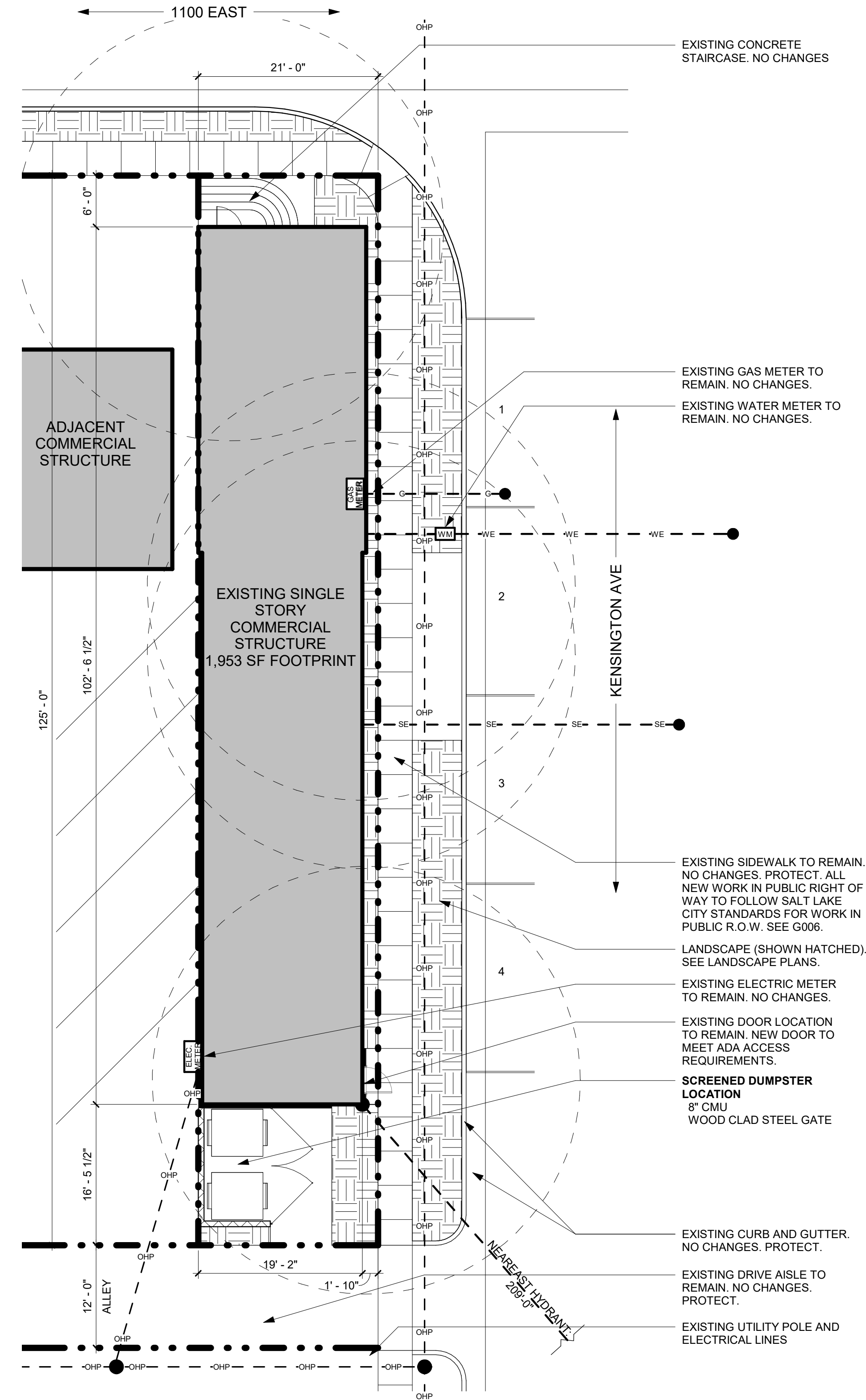
COVERAGE SUMMARY & PARKING CALC.

COVERAGE SUMMARY:

BUILDING	1,953 SF (80.2%)
HARDSCAPE:	318.5 SF (13.1%)
LANDSCAPE:	165 SF (6.7%)
TOTAL:	2,437.5 SF (100%)

PARKING REQUIREMENT:

TENANT USE:	RATIO:	REQ'D
BAR/TAVERN	2 SPACES PER 1,000 SF USABLE FLOOR AREA	3.96 (1,989 SF)
TOTAL REQUIRED:		4
TOTAL PROVIDED:	4 ON STREET STALLS	



1 Overall Site Plan
1" = 10'-0"

GENERAL NOTES - SITE PLAN

- UTILITY LOCATIONS ARE SHOWN SCHEMATICALLY. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO THE EXECUTION OF ANY WORK.
- WHEN SHOWN IN SITE PLAN, ALL DIMENSIONS ARE TO FACE OF FINISH TO PROPERTY LINES. IMAGINARY LINES, SETBACKS, ETC., U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- SEE BUILDING PLANS FOR ALL OTHER NOTES AND DIMENSIONS NOT SHOWN HERE.
- NO PART OF RETAINING WALLS AND FOOTINGS SHALL ENCR OACH INTO ADJACENT PROPERTIES OR EASEMENTS.
- THE PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNSTREAM PROPERTIES.
- CONTRACTOR IS TO CONTACT AND ABIDE BY THE RULES OF THE UTAH DIVISION OF AIR QUALITY. (801) 536-4000
- IF NO GAS UTILITY LINE OR METER ARE SHOWN ON THESE DRAWINGS THEN THERE IS NO GAS SERVICE PROVIDED TO THE SUBJECT PROPERTY.
- ALL UTILITY TRENCHING MUST BE PER SLOPU STANDARD PRACTICE NO. 1
- ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS PER CODE. WATER & SEWER LINES REQUIRE 10' MIN. HORIZONTAL SEPARATION AND 18" MIN VERTICAL SEPARATION. SEWER MUST MAINTAIN 5' MIN. HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3' MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.
- A MINIMUM OF ONE EXTERIOR CLEANOUT IS REQUIRED ON THE SEWER LATERAL WITHIN 5' OF THE BUILDING. ADDITIONAL CLEANOUTS ARE REQUIRED AT EACH BEND AND AT LEAST ONE EVERY 50' FOR 4" LATERALS AND ONE EVERY 100' FOR 6" LATERALS.
- SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES ARE INCORPORATED AS PART OF THIS PLAN SET.
- SEWER LATERAL MUST GRAVITY DRAIN ALL FLOORS AND MEET MINIMUM SLOPE REQUIREMENTS (2% FOR 4" LATERALS, 1% FOR 6" LATERALS) POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT., UTILITY COORDINATOR AND HTE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
- ELECTRICAL SERVICE CONDUCTORS MUST BE A MINIMUM OF 8' ABOVE ANY PORTION OF THE ADU.

LEGEND - SITE PLAN

	BUILDING FOOTPRINT - EXISTING
	STRUCTURE ABOVE
	LANDSCAPE AREA - SEE LANDSCAPE PLANS
	PROPERTY LINE
	SETBACK LINES
	FIRE HOSE PULL/HYDRANT DISTANCE
	SEWER CLEAN-OUT, CLEANOUTS LOCATED ON DRIVE-WAY REQUIRE TRAFFIC RATED COVER.
	APPROX. EXISTING SEWER LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. EXISTING WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. EXISTING GAS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. EXISTING BURRIED ELECTRICAL/ TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE PER CODE

Know what's below.
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



BLOQ 11 TAP BAR
1533 S 1100 E, SALT LAKE CITY, UT 84105

COND. USE 8/28/2023

REVISION SETS

MARK DATE

PLOT DATE 10/26/2023

PROJECT 2204

DRAWN BY IK

CHECKED BY IK

SHEET TITLE

COVER PAGE, SITE PLAN

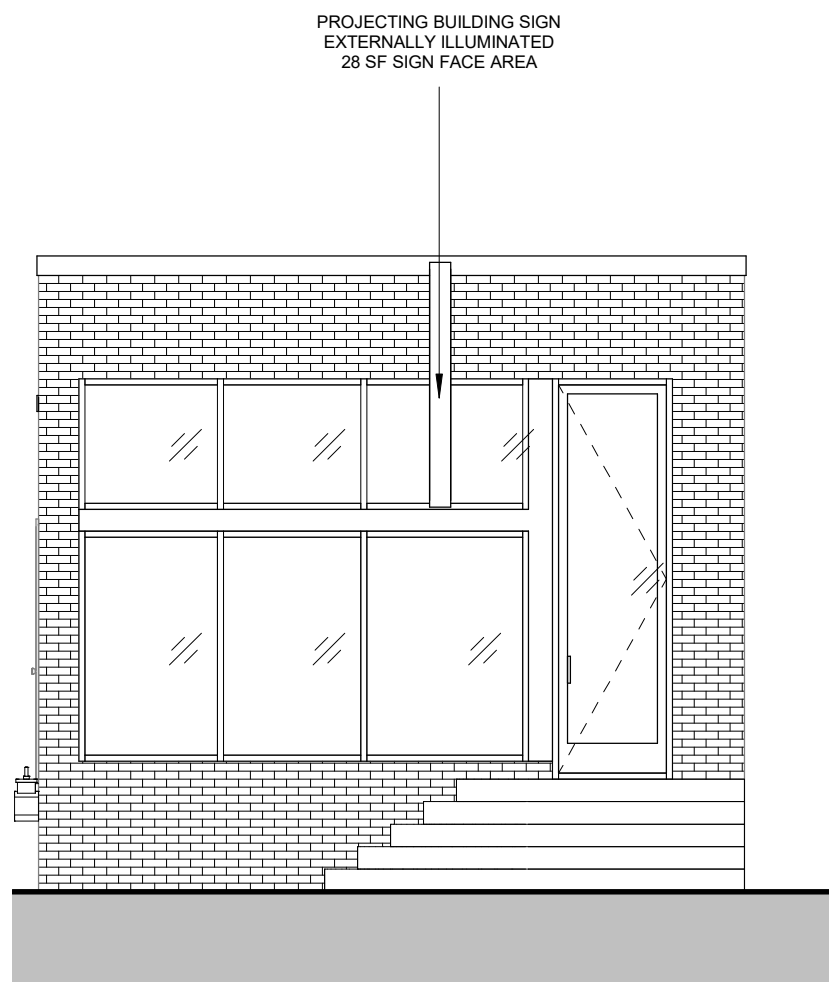
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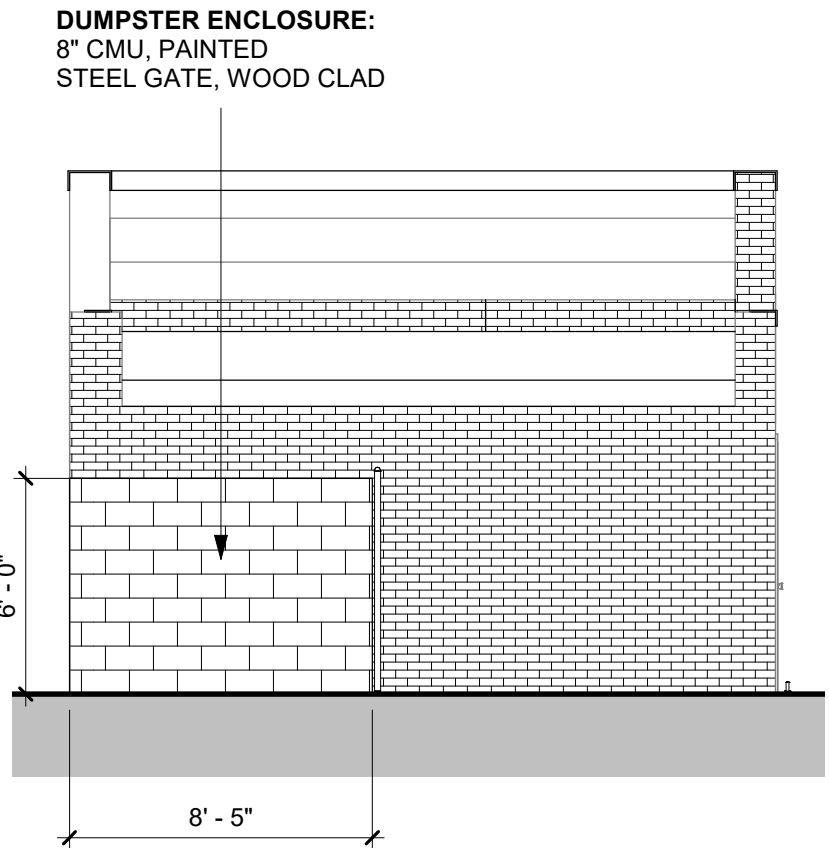
ADDVIRTUE

ADVOCACY | DESIGN | DEVELOPMENT
SALT LAKE CITY, UTAH
ANNAPOLIS, MARYLAND
IAN@ADDVIRTUE.COM

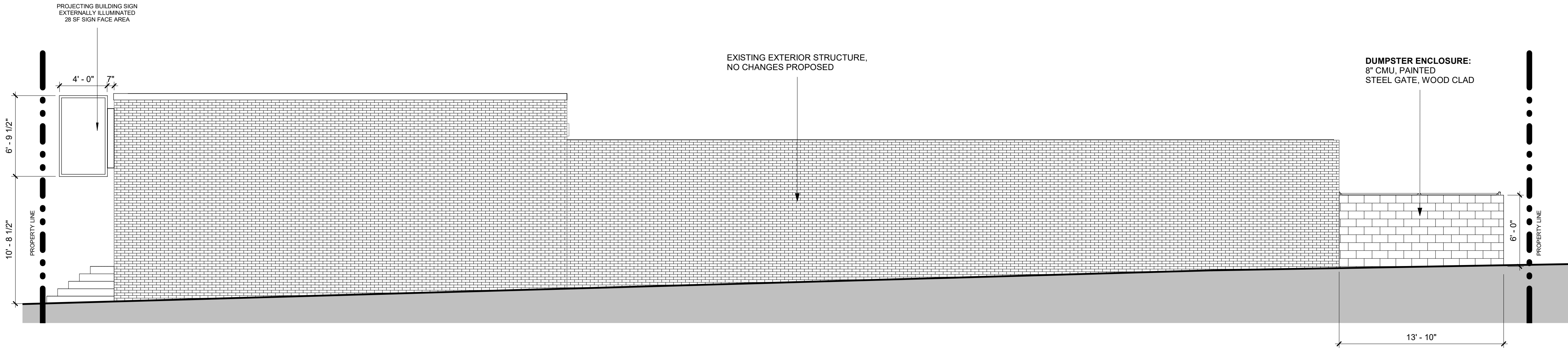
THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF ADDVIRTUE, LLC AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF ADDVIRTUE, LLC, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.



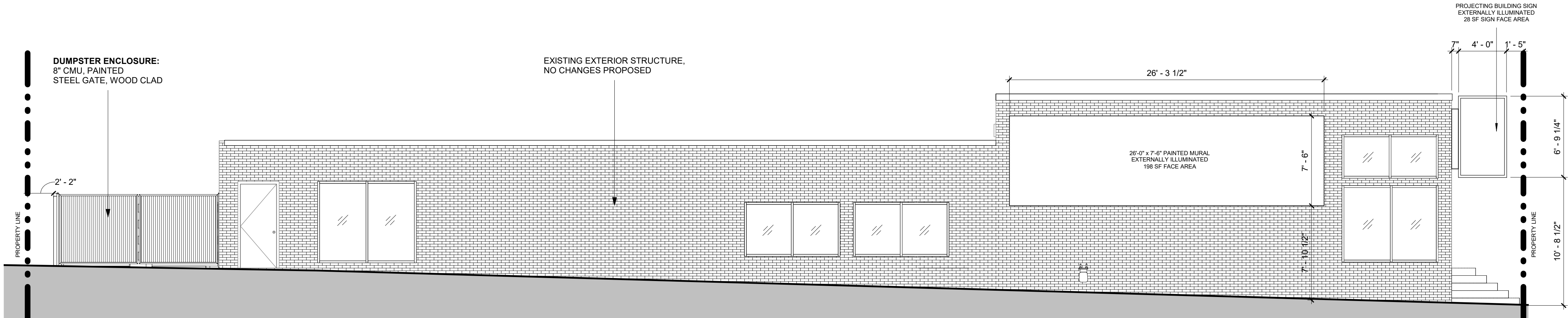
04 OVERALL - WEST
3/16" = 1'-0"



02 OVERALL - EAST
3/16" = 1'-0"



03 OVERALL - SOUTH
3/16" = 1'-0"



01 OVERALL - NORTH
3/16" = 1'-0"

LEGEND - ELEVATIONS

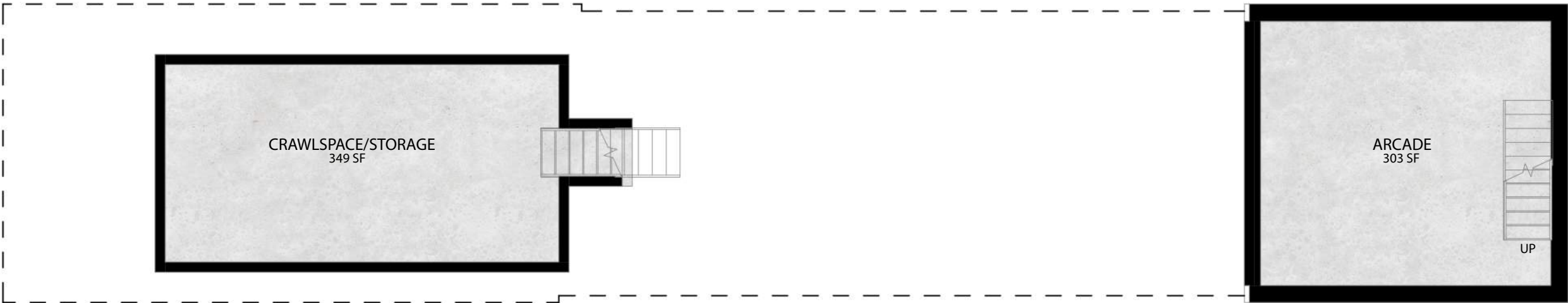
- EXISTING STUCCO SIDING, PAINTED
- EXISTING BRICK SIDING, PAINTED
- EXISTING CONCRETE FOUNDATION WALL

GENERAL NOTES - ELEVATIONS

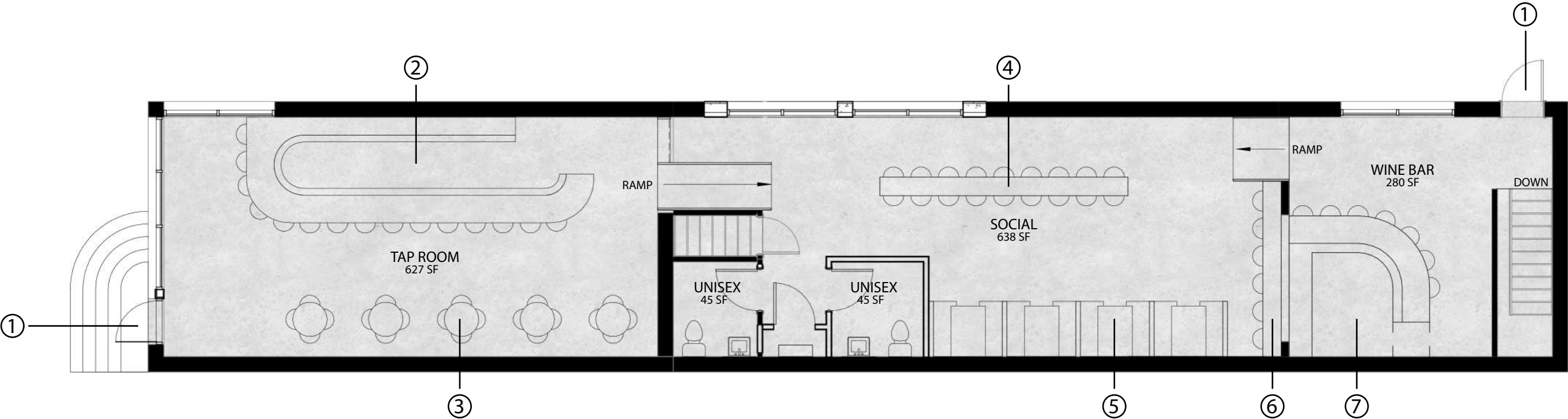
- WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE OR TOP OF CEMENT-BASED UNDERLAYMENT, U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMESNSIONS GOVERN.
- ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- SEE CIVIL AND STRUCTURAL FOR FINISH FLOOR ELEVATIONS.
- SEE CIVIL FOR ADJACENT HARDSCAPE ELEVATIONS. WHERE EXTERIOR STAIRS LAND ON EXTERIOR HARDSCAPE, CONFIRM ELEVATIONS WITH CIVIL.
- SEE ELECTRICAL FOR EXTERIOR LIGHT FIXTURES.

LEGEND

- ① Existing building entrance.
- ② Tap bar, seats 15.
- ③ High top seating, seats 20.
- ④ High bar seating, seats 18.
- ⑤ Booths, seats 24.
- ⑥ High bar seating, seats 6.
- ⑦ Wine bar, seats 7.

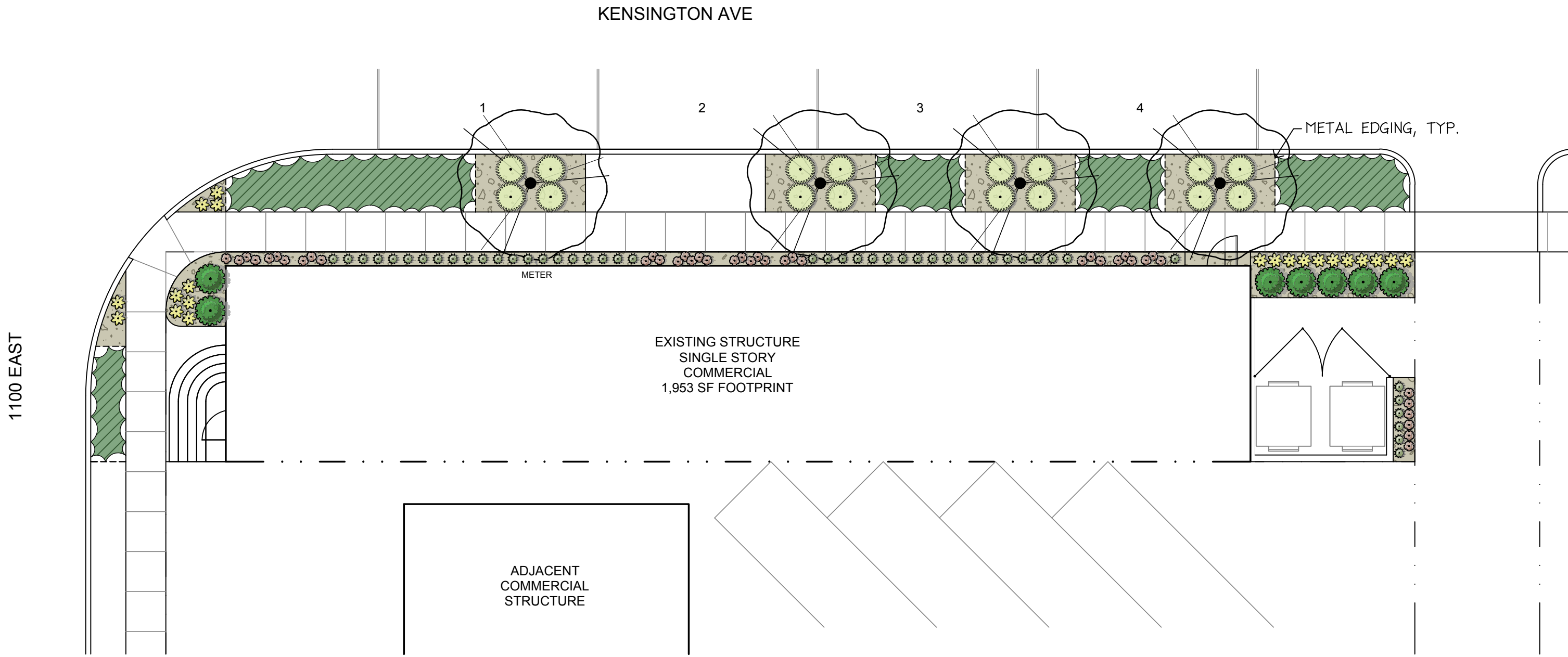


LOWER LEVEL FLOOR PLAN











MAIN LEVEL FLOOR PLAN





PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CAL	QTY	
	AME GRA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' HYDROZONE: TD3	AUTUMN BRILLIANCE SERVICEBERRY	2" CAL	4	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	RHA FLN	RHAMNUS FRANGULA 'FINE LINE' HYDROZONE: SD3	FINE LINE BUCHTHORN	5 GAL	7	
	TAX FDN	TAXUS X MEDIA 'SMINTHDPF' HYDROZONE: SE3	STONEHENGE SKINNY C. YEW	5 GAL	46	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	MIS SIN	MISCANTHUS SINENSIS 'NCMS2B' BANDWIDTH PPAF HYDROZONE: TW2	ZEBRA GRASS	1 GAL	16	
PERENNIAL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	ECH POW	ECHINACEA 'POW WOW WHITE' HYDROZONE: P2	POW WOW CONEFLOWER	1 GAL	21	
	HEU RI2	HEUCHERA X 'RIO' HYDROZONE: P3	RIO CORAL BELLS	1 GAL	41	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	CER PLU	CERATOSTIGMA PLUMBAGINOIDES HYDROZONE: GV2	DWARF PLUMBAGO	4" POT	12" o.c.	284 SF
STONE MULCH	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	PER BRK	3" DEPTH PERMA BARK AVAILABLE VIA. STAKER PARSONS-CONTACT SHANNON MICKLES:385-239-0804	PERMA BARK	1" DIA.		548 SF

SITE SUMMARY CALCULATIONS:

DESCRIPTION	AREA	PERCENT
TOTAL SITE AREA	2,437.5 SF	100.0%
LANDSCAPE (LS)	832 SF	34.1% (OF TOTAL SITE)

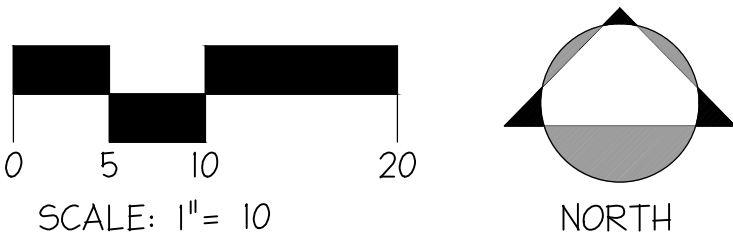
DESCRIPTION	REQUIRED	PROVIDED
PARK STRIP TREES (ONE PER 30 FT. BASED ROAD FRONTAGE)	4	4

*SEE PLANT SCHEDULE FOR PLANT HYDROZONES.
*IRRIGATION ZONES SEPERATED PER HYDROZONES, SEE IRRIGATION PLAN.

PLANTING NOTES

1. THE BASE INFORMATION FOR THIS DRAWING WAS OBTAINED FROM OTHERS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. IN THE EVENT THAT THE CONTRACTOR BEGINS WORK PRIOR TO VERIFYING AND COMPARING THE BASE INFORMATION WITH ACTUAL FIELD CONDITIONS, THEN ANY CHANGES OR ALTERATIONS TO THE WORK INVOLVED WITH THESE DRAWINGS DUE TO SUCH DISCREPANCIES WILL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE OWNER, BLUE STAKES OF UTAH AT 811 OR 1-800-662-4111, AND ALL OTHER ENTITIES AS NECESSARY. IN THE EVENT THE CONTRACTOR BEGINS CONSTRUCTION WORK PRIOR TO VERIFYING AND STAKING ALL UTILITIES, AND DAMAGE TO UTILITIES OCCURS, THE DAMAGED UTILITIES WILL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
3. REFER TO LEGENDS, NOTES, DETAILS, AND SPECIFICATIONS FOR FURTHER INFORMATION.
4. ANY ALTERATIONS TO THESE ACTUAL PLANTING PLANS DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND RECORDED ON "AS BUILT" DRAWINGS PER THE SPECIFICATIONS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC..
6. ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
7. QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES AND SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING DESIGN SHOWN ON THE PLANS REGARDLESS OF QUANTITIES INDICATED IN THE PLANT SCHEDULE.
8. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. STAKE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
10. ALL PLANT BEDS SHALL RECEIVE 12" OF PLANTING SOIL MIX. BACKFILL ALL PLANTING PITS WITH PLANTING SOIL MIX.
- II. GROUND COVER AREAS SHALL RECEIVE 1-1/2" INCHES OF FINE TEXTURED SOIL AID/SOIL PEP. ALL OTHER PLANT BEDS AND TREE WELLS TO RECEIVE THREE INCHES (3") OF GREY STONE MULCH/PERMA BARK - SEE SCHEDULE.

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G.B.D

G.BROWN:DESIGN INC
SITE AND LANDSCAPE ARCHITECTS
678 East Vine Street, Ste 10
Murray, Utah 84107
801.575.6066
www.gbrowndesign.com

■ PREPARED FOR:
D3CADEHOMES
1240 E 2100 S SUITE 600
SALT LAKE CITY, UT 84106

■ CONSULTANTS:

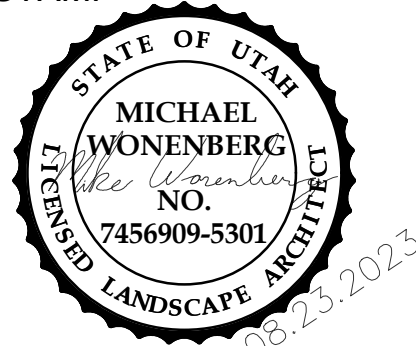
BLOQ 11 BARCADE

1533 SOUTH 1100 EAST
SALT LAKE CITY, UT

■ REVISIONS:

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■ SHEET TITLE:

PLANTING PLAN

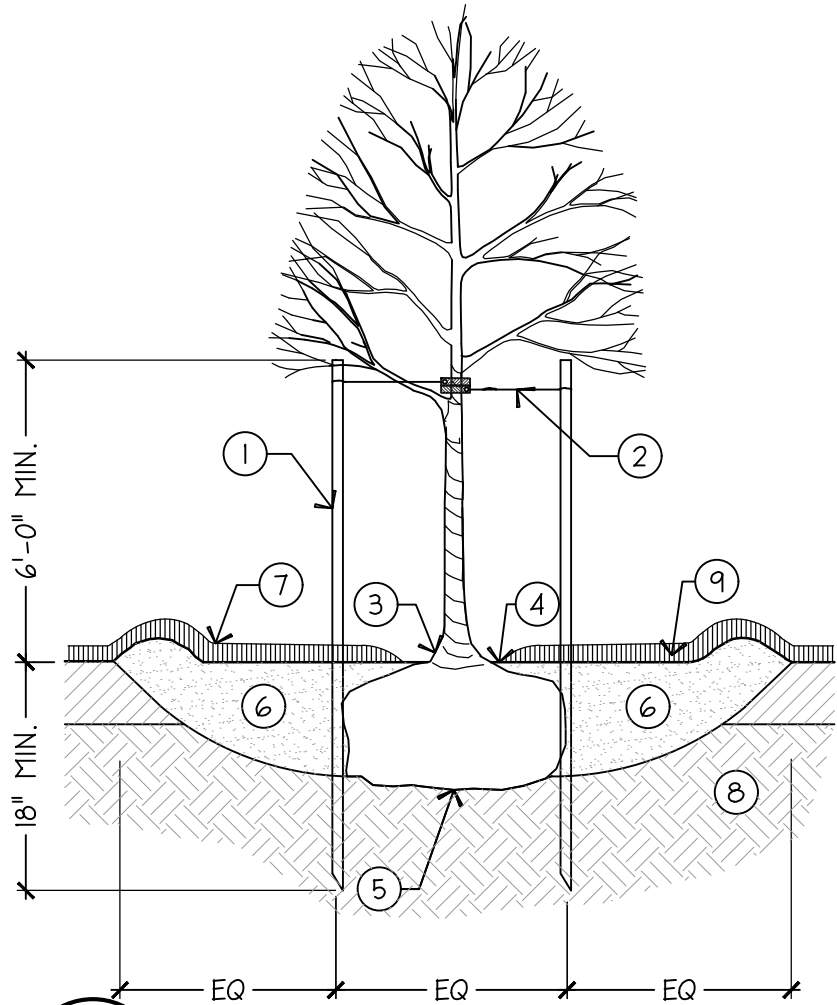
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■ DRAWN BY: HRM/CBR
■ CHECKED BY: MJW
■ JOB NO.: U23-031

■ SHEET NO:

LP-101

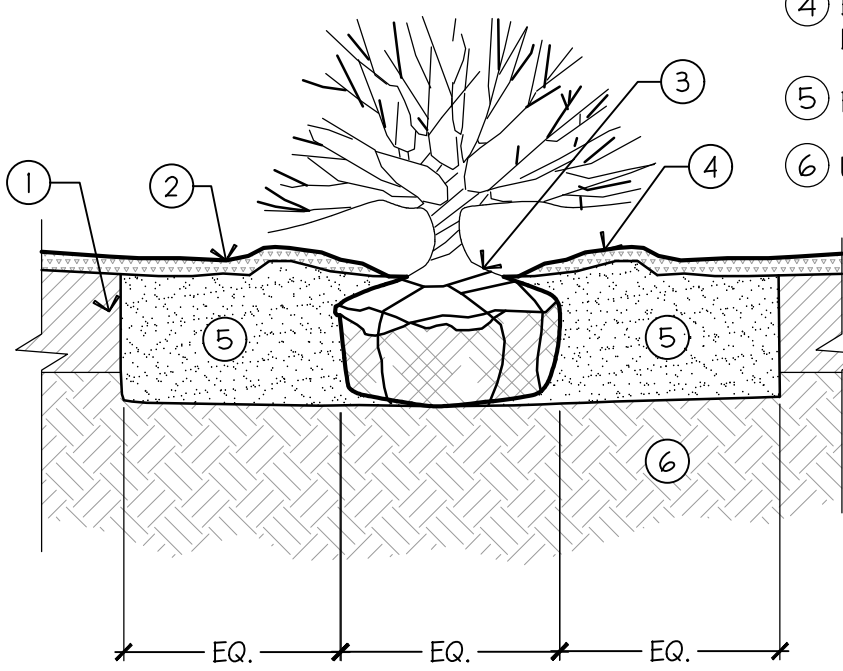
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

NOTES:
1. INSTALL TREE PLUMB
2. FOR ALL FALL PLANTING, WRAP TRUNK TO LOWEST BRANCH. REMOVE THE FOLLOWING SPRING.



1 DECIDUOUS TREE WITH STAKING
NTS

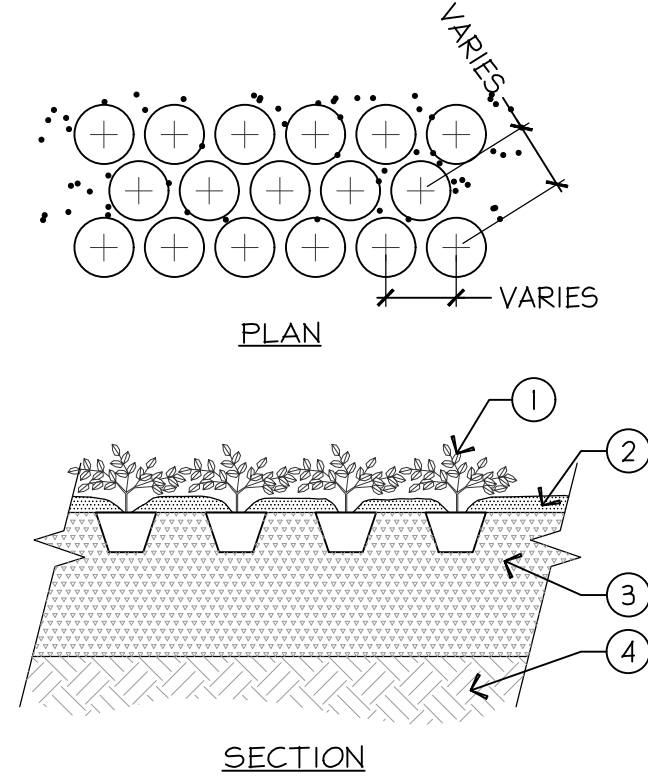
- 2" DIA. (ROUND) FIR POSTS; 2 PER TREE; ALL POSTS SHALL BE PLUMB AND HAVE SAME HEIGHT ABOVE FINISH GRADE
- TREE TIE - SEE SPECS FOR TYPE AND ATTACHMENT.
- TOP OF ROOTBALL SHALL BE 1"-2" ABOVE FINISHED GRADE
- ROOT FLARE SHALL BE EXPOSED; MULCH SHOULD NOT BE WITHIN 4" OF TREE TRUNK
- PLACE ROOTBALL ON UNDISTURBED SUBSOIL. CUT AND REMOVE WIRE BASKET AND BURLAP/OTHER WRAPPING MATERIALS.
- EXCAVATE HOLE TO DIAMETER 3X WIDER THAN ROOTBALL. BACKFILL WITH PLANTING SOIL MIX
- TYPE & MULCH, DEPTH AS SPECIFIED
- UNDISTURBED SUBGRADE
- 5' DIA. DEPRESSED WATERING BASIN



2 SHRUB
NTS

- PLANTING SOIL MIX (SEE SPECS)
- MULCH TYPE & DEPTH AS SPECIFIED
- SET ROOT FLARE 2" HIGHER THAN FINISH GRADE TO ALLOW FOR SETTLING
- BERM TO FORM DEPRESSED WATERING BASIN
- PLANTING SOIL MIX (SEE SPECS)
- UNDISTURBED SUBGRADE

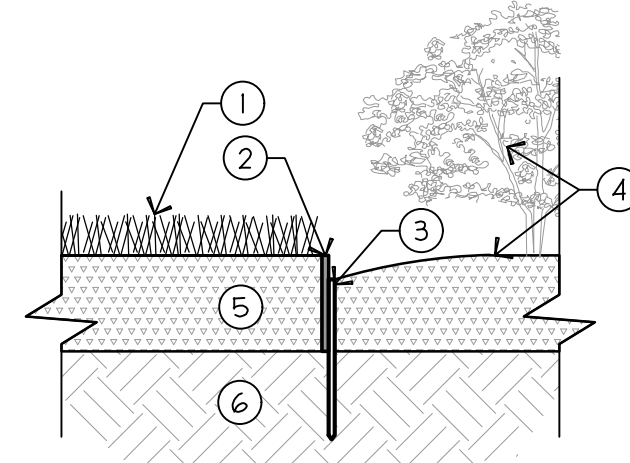
- NOTES:
- PLACE BALL ON UNDISTURBED SUBGRADE. REMOVE AND DISCARD WRAPPING MATERIAL EXCEPT UNDER BALL.
 - SETTLE PLANT BY FILLING PLANTING PIT WITH WATER USING HOSE OR BUCKET.
 - MULCH SHOULD NOT BE WITHIN 4" OF TRUNK.
 - REMOVE WATERING BASIN PRIOR TO END OF MAINTENANCE PERIOD.



3 GROUNDCOVER / PERENNIAL
NTS

- GROUNDCOVER/PERENNIALS (SEE NOTES)
- MULCH TYPE & DEPTH AS SPECIFIED
- PLANTING SOIL MIX (SEE SPECS)
- UNDISTURBED SUBGRADE

- NOTES:
- SEE PLANTING LEGEND FOR SPACING.



4 EDGING - CUSTOM METAL
NTS

- TURF PER PLANTING PLAN
 - CUSTOM 3/16"x6" RAW STEEL EDGING
 - 24" STEEL SPIKE WELDED TO STEEL EDGING SPACED AT LEAST EVERY 6' O.C. OR MORE FREQUENTLY AS NEEDED TO ENSURE SMOOTH CURVES AND/OR STRAIGHT LINES
 - MATERIAL PER PLANTING PLAN
 - PLANTING SOIL MIX (SEE SPECS)
 - UNDISTURBED SUBGRADE
- NOTE:
- EDGING TO BE 1/2" ABOVE FINISH GRADE
 - ALL JOINTS TO BE CUT AND WELDED TO CREATE CLEAN, CRISP CORNERS.

■ PREPARED FOR:
D3CADEHOMES
1240 E 2100 S SUITE 600
SALT LAKE CITY, UT 84106

■ CONSULTANTS:

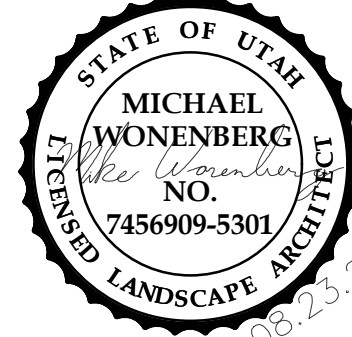
BLOQ 11 BARCADE

1533 SOUTH 1100 EAST
SALT LAKE CITY, UT

■ REVISIONS:

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■ STAMP



■ SHEET TITLE:
PLANTING
DETAILS

■ DATE: 08-23-2023
■ DRAWN BY: HRM/CBR
■ CHECKED BY: MJW
■ JOB NO.: U23-031

■ SHEET NO:

LP-501

PRELIMINARY PLAN - NOT FOR CONSTRUCTION



- THE BASE INFORMATION FOR THIS DRAWING WAS OBTAINED FROM OTHERS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. IN THE EVENT THAT THE CONTRACTOR BEGINS WORK PRIOR TO VERIFYING AND COMPARING THE BASE INFORMATION WITH ACTUAL FIELD CONDITIONS, THEN ANY CHANGES OR ALTERATIONS TO THE WORK INVOLVED WITH THESE DRAWINGS DUE TO SUCH DISCREPANCIES WILL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE OWNER, BLUE STAKES OF UTAH AT 811 OR 1-800-662-4111, AND ALL OTHER ENTITIES AS NECESSARY. IN THE EVENT THE CONTRACTOR BEGINS CONSTRUCTION WORK PRIOR TO VERIFYING AND STAKING ALL UTILITIES, AND DAMAGE TO UTILITIES OCCURS, THE DAMAGED UTILITIES WILL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
3. REFER TO LEGENDS, NOTES, DETAILS, AND SPECIFICATIONS FOR FURTHER INFORMATION.
4. COORDINATE LAYOUT OF THE IRRIGATION SYSTEM WITH OTHER TRADES SO THAT CONSTRUCTION CAN CONTINUE IN A NORMAL SEQUENCE OF EVENTS AND SO THAT WORK OF OTHER TRADES IS NOT DISTURBED ONCE PLACED IN THE FIELD. IN THE EVENT THE CONTRACTOR FAILS TO COORDINATE CONSTRUCTION BETWEEN TRADES AND BY DOING SO, THE CONTRACTOR DAMAGES, DISPLACES OR OTHERWISE CAUSES OTHER TRADES WORK TO BE REINSTALLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH REPLACEMENT AND/OR RE-INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION LAYOUT OF THE IRRIGATION SYSTEM IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS TO PROVIDE HEAD TO HEAD AND EMITTER TO EMITTER SPACING AS SHOWN ON THE PLANS, DETAILS AND SPECIFICATIONS. THE LAYOUT MAY ONLY BE MODIFIED AS APPROVED BY THE LANDSCAPE ARCHITECT TO OBTAIN COVERAGE TO SUIT THE MANUFACTURERS STANDARD HEADS INDICATED. ANY SUCH APPROVAL BY THE LANDSCAPE ARCHITECT SHALL OCCUR PRIOR TO ACTUAL PLACEMENT OF THE HEADS IN THE FIELD AND SHALL BE RECORDED ON "AS BUILT" DRAWINGS PER THE SPECIFICATIONS.
6. ALL INSTALLATIONS OR MODIFICATION TO THE IRRIGATION SYSTEM WILL NOT EXCEED THE DESIGN SUPPLY CAPACITY.
7. MAXIMUM WATER VELOCITY THROUGH IRRIGATION PIPE HAS BEEN DESIGNED NOT TO EXCEED 5.0 FEET PER SECOND AND SHALL IN NO CASE BE GREATER THAN 7.5 FEET PER SECOND.
8. THE IRRIGATION SYSTEM SHOWN ON THE DRAWINGS REPRESENTS AN AUTOMATIC CONTROLLER IRRIGATION SYSTEM SUPPLIED FROM THE MUNICIPAL WATER SYSTEM. THE SYSTEM IS DESIGNED FOR A MINIMUM OPERATING PRESSURE OF **100 PSI** AT THE IRRIGATION POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND REPORT ANY DIFFERENCE TO THE OWNER AND/OR THEIR REPRESENTATIVE.
9. VIDE AND INSTALL ALL THE MANUFACTURER'S RECOMMENDED SURGE AND LIGHTNING PROTECTION EQUIPMENT ON ALL CONTROLLERS. AG2401 SURGE SUPPRESSOR ON HIGH VOLTAGE; 3 GROUND ROD GRID, 8 FOOT TRIANGLE FOR LOW VOLTAGE.
10. THE IRRIGATION DESIGN IS DIAGRAMMATIC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND TO LOCATE ALL IRRIGATION EQUIPMENT OTHER THAN SPRAY HEADS, ROTORS, EMITTERS AND IN-LINE EMITTERS IN THE CLOSEST LANDSCAPE AREA TO WHERE THE SYMBOL FOR THAT EQUIPMENT HAS BEEN SHOWN ON THE PLANS IN THE SAME SEQUENCE AS SHOWN ON THE PLANS.
11. THE CONTRACTOR SHALL PROVIDE ALL LABOR, PARTS AND MATERIALS REQUIRED TO COMPLETE THE IRRIGATION SYSTEM IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS.
12. ALL LINES SHALL SLOPE TO MANUAL DRAIN (SEE DETAILS). IF FIELD CONDITIONS NECESSITATE ADDITIONAL DRAINS, THESE DRAINS SHALL BE INSTALLED FOR COMPLETE DRAINAGE OF THE ENTIRE SYSTEM. REFER TO DETAILS AND SPECIFICATIONS FOR DRAIN INSTALLATION, SUMP REQUIREMENTS AND DEPTH OF BOTH DRAIN AND SUMP.
13. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL THROTTLE CONTROLS ON ALL SPRINKLER HEADS AND ADJUST VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC.
14. INTERRUPTION OF IRRIGATION WATERING IS LIKELY TO OCCUR DUE TO OTHER CONSTRUCTION ACTIVITIES AND WORK ON THE IRRIGATION SYSTEM. ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROPERLY PROTECTED AND CARED FOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL HAND WATER PLANTS AS REQUIRED. ANY DAMAGE TO PLANT MATERIAL THAT OCCURS DUE TO THIS CONSTRUCTION OR LACK OF WATER DURING CONSTRUCTION SHALL BE REPAIRED TO THE PRE-CONSTRUCTION CONDITION AT THE EXPENSE OF THE CONTRACTOR.
15. SEE SPECIFICATION SECTION 328400-IRRIGATION FOR ADDITIONAL INFORMATION.

————— IRRIGATION LATERAL LINE: PVC SCHEDULE 40

————— IRRIGATION MAINLINE: PVC SCHEDULE 40

PIPE SLEEVE: PVC SCHEDULE 40

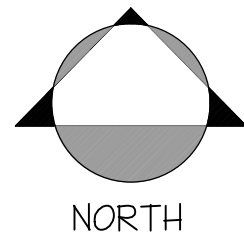
SLEEVE SHALL BE A MINIMUM OF TWICE THE NOMINAL SIZE OF PIPE FITTING. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION

Valve Callout

Valve Number

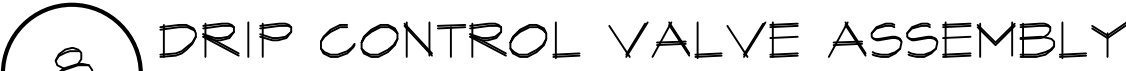
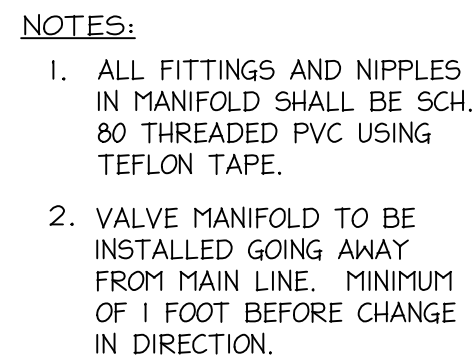
Valve Flow

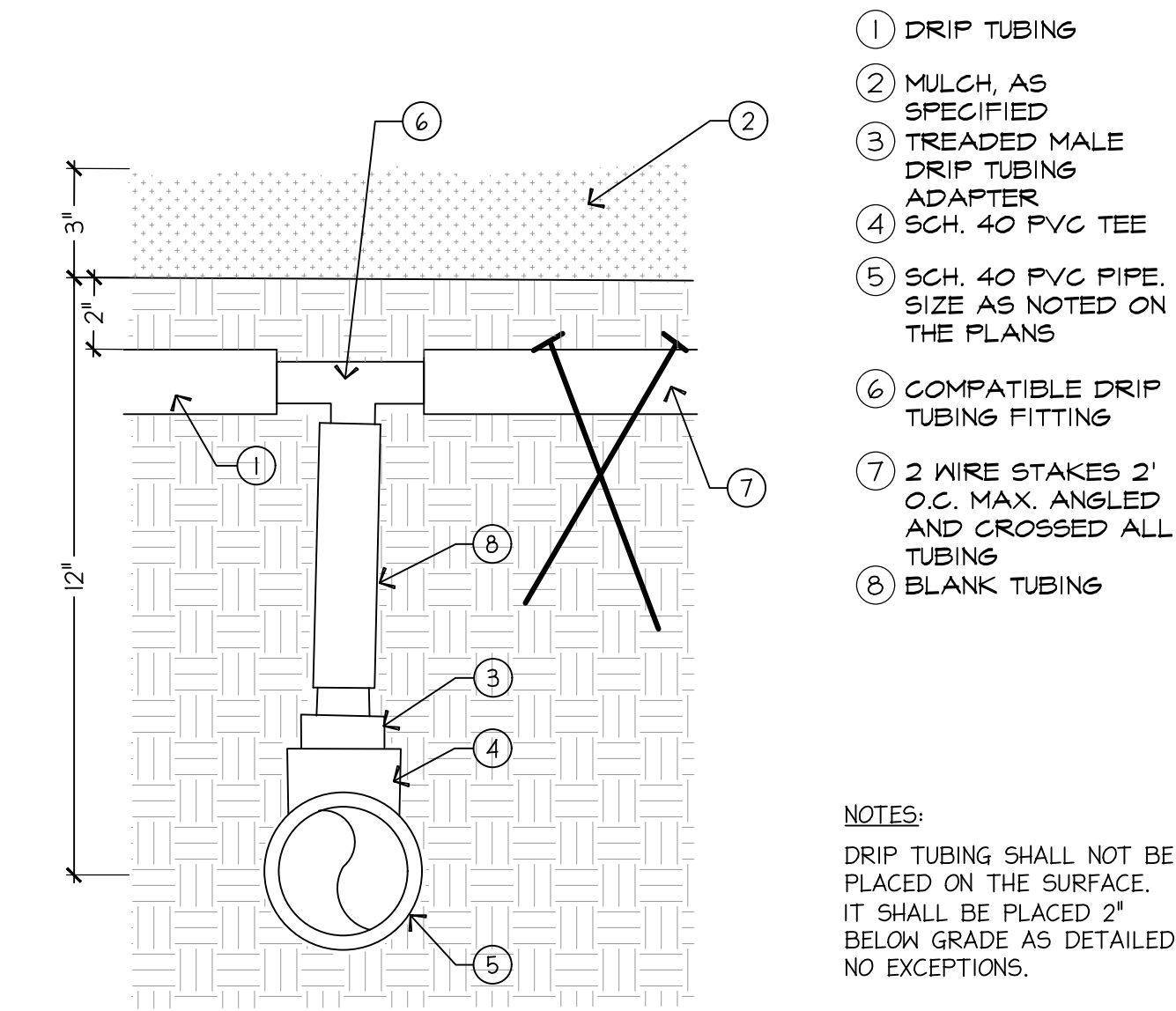
Valve Size



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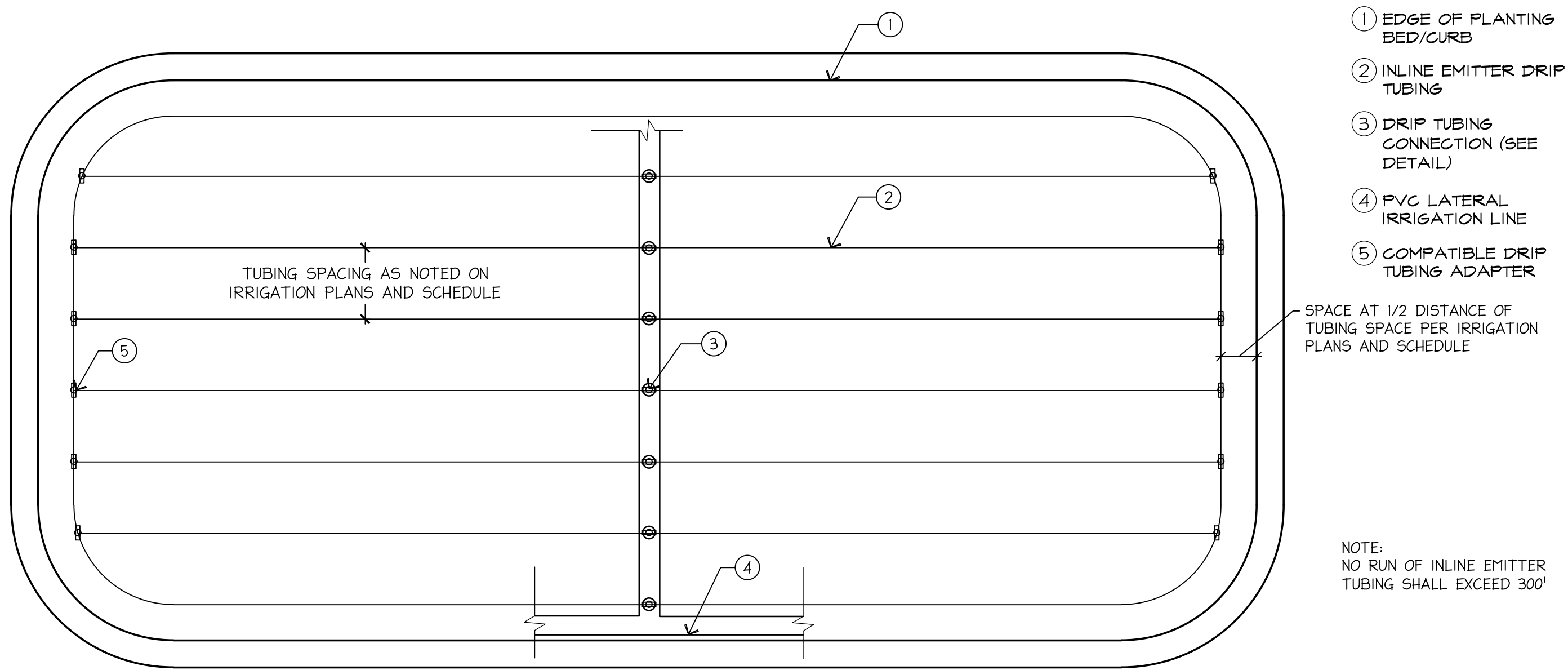
<div>G.B.D</div> <div>G. BROWN DESIGN INC SITE AND LANDSCAPE ARCHITECTS</div> <div>678 East Vine Street, Ste 10 Murray, Utah 84107 801.575.6066 www.gbrowndesign.com</div>	
■ PREPARED FOR:	
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SALT LAKE CITY, UT 84106	
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<div><div><div>STATE OF UTAH</div><div>MICHAEL WONENBERG</div><div>the designer</div><div>NO.</div><div>7456909-5301</div><div>LICENSED LANDSCAPE ARCHITECT</div></div><div>08-23-2023</div></div>	
■ SHEET TITLE:	
IRRIGATION PLAN	
■ DATE:	08-23-2023
■ DRAWN BY:	HRM/CBR
■ CHECKED BY:	MJW
■ JOB NO.:	U23-031
■ SHEET NO:	
LI-101	





- 1 DRIP TUBING
- 2 MULCH, AS SPECIFIED
- 3 TREADED MALE DRIP TUBING ADAPTER
- 4 SCH. 40 PVC TEE
- 5 SCH. 40 PVC PIPE, SIZE AS NOTED ON THE PLANS
- 6 COMPATIBLE DRIP TUBING FITTING
- 7 2 WIRE STAKES 2' O.C. MAX. ANGLED AND CROSSED ALL TUBING
- 8 BLANK TUBING

NOTES:
DRIP TUBING SHALL NOT BE PLACED ON THE SURFACE. IT SHALL BE PLACED 2" BELOW GRADE AS DETAILED. NO EXCEPTIONS.

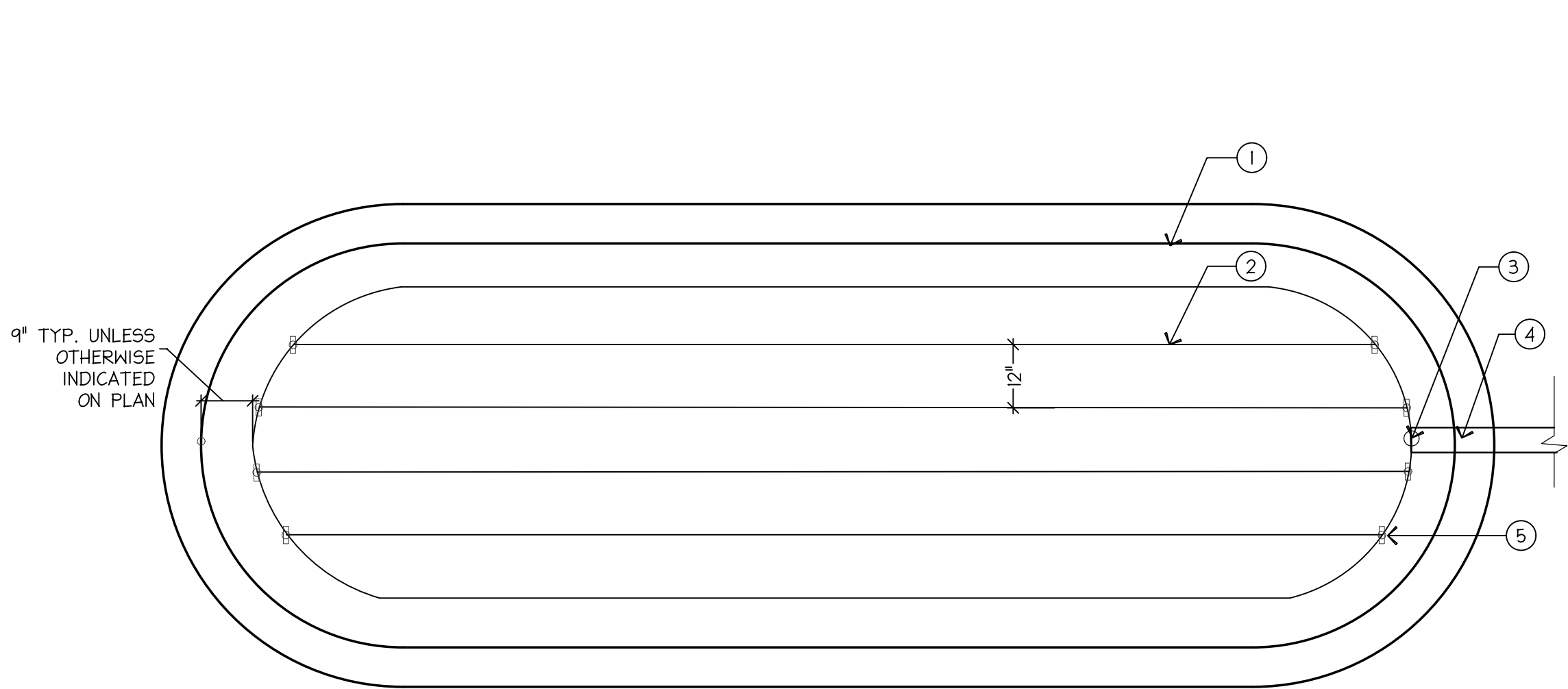


- 1 EDGE OF PLANTING BED/CURB
- 2 INLINE EMITTER DRIP TUBING
- 3 DRIP TUBING CONNECTION (SEE DETAIL)
- 4 PVC LATERAL IRRIGATION LINE
- 5 COMPATIBLE DRIP TUBING ADAPTER

NOTE:
NO RUN OF INLINE EMITTER TUBING SHALL EXCEED 300'

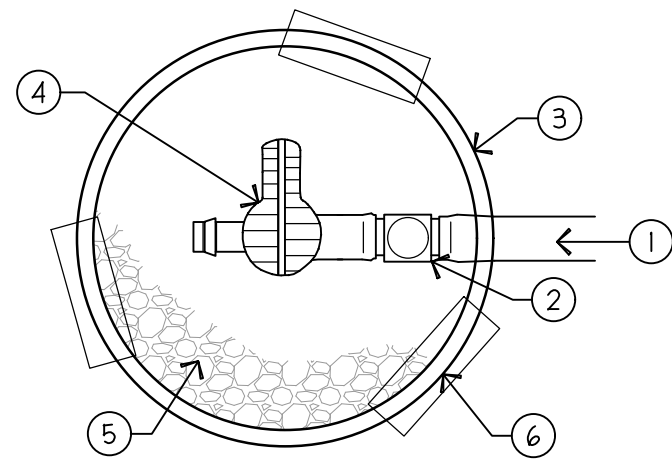
1 DRIP TUBING CONNECTION
NTS

2 CENTER FEED DRIP TUBING LAYOUT
NTS

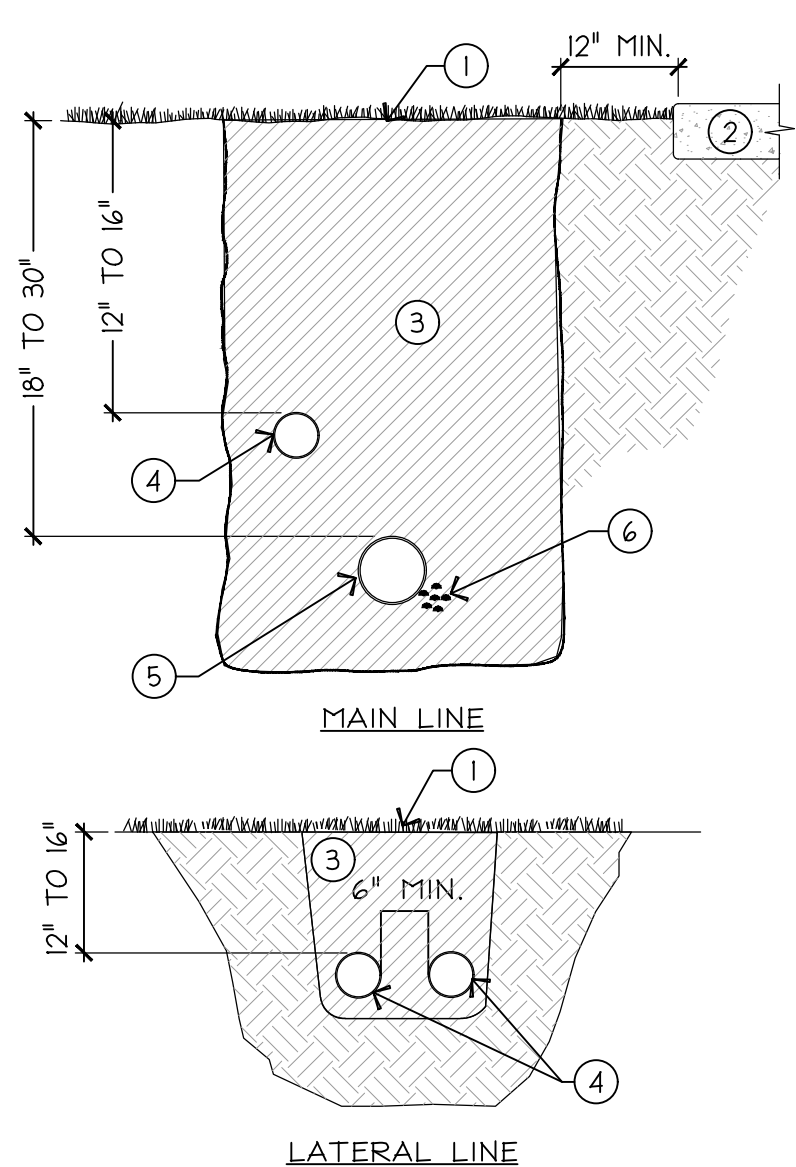


- 1 EDGE OF PLANTING BED/CURB
- 2 INLINE EMITTER DRIP TUBING
- 3 DRIP TUBING CONNECTION (SEE DETAIL C)
- 4 PVC LATERAL IRRIGATION LINE SIZE AS PER PLAN
- 5 COMPATIBLE DRIP TUBING FITTING

NOTE:
END CONFIGURATIONS SHALL ONLY BE USED IN BEDS REQUIRING LESS THAN 300' OF IN-LINE EMITTER TUBING.



- 1 BLANK TUBING TYP
- 2 TEE 1/2" X 1/2" VALVE
- 3 BOX (INSTALL PER SPECS)
- 4 SHUT-OFF VALVE (NETAFIM #TL5OV)
- 5 3/4" GRAVEL SUMP (FILLING 10" WIDE X 24" DEEP HOLE) WITH FILTER FABRIC ON TOP AND SIDES.
- 6 BRICK FOUNDATION OR PRESSURE TREATED WOOD FRAME



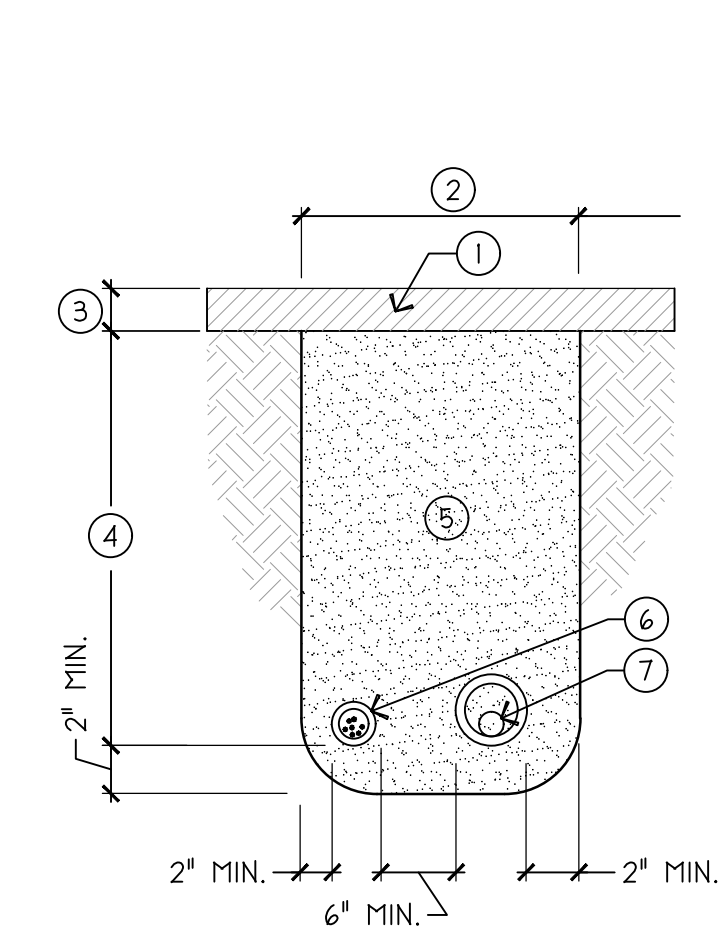
- 1 FINISH GRADE
- 2 HARDSCAPE SURFACE
- 3 CLEAN BACKFILL (SHALL CONTAIN NO SHARP OR ANGULAR ROCKS OR ANY ROCK OVER 1" DIA)
- 4 LATERAL LINE
- 5 MAIN LINE
- 6 CONTROL WIRES

NOTE:
1. ATTACH CONTROL WIRES TO EITHER SIDE OF MAIN LINE WITH DUCT TAPE AT 15 FEET O.C.

3 END FEED DRIP TUBING
NTS

4 LINE FLUSHING VALVE
NTS

5 TRENCHING
NTS



- 1 PROPOSED HARDSCAPE SURFACE
- 2 WIDTH AS REQUIRED
- 3 VARIES AS PER HARDSCAPE SURFACE
- 4 DEPTH AS REQUIRED TO MATCH MAIN LINE (18"-30") OR LATERAL LINE (8"-16") OR CONTROL WIRES (18"-30")
- 5 BACKFILL COMPACTED AT 95%
- 6 CONTROL WIRES 6" TO EITHER SIDE IN CONDUIT SLEEVE PER SPECS
- 7 MAIN LINE OR LATERAL IN SLEEVE

NOTES:
1. ALL SLEEVES SHALL BE SCHEDULE 40 PVC.
2. ALL SLEEVES SHALL BE A MINIMUM OF 4" AND TWICE THE NOMINAL SIZE OF THE PIPE WITHIN.
3. ALL SLEEVING SHALL EXTEND A MIN. OF 18" BEYOND EDGE OF HARDSCAPE.

6 SLEEVING
NTS

■ PREPARED FOR:
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1240 E 2100 S SUITE 600
SALT LAKE CITY, UT 84106

■ CONSULTANTS:

BLOQ 11 BARCADE
1533 SOUTH 1100 EAST
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■ REVISIONS:

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■ STAMP



■ SHEET TITLE:
IRRIGATION
DETAILS

■ DATE: 08-23-2023
■ DRAWN BY: HRM/CBR
■ CHECKED BY: MJW
■ JOB NO.: U23-031

■ SHEET NO:

LI-502

PRELIMINARY PLAN - NOT FOR CONSTRUCTION